

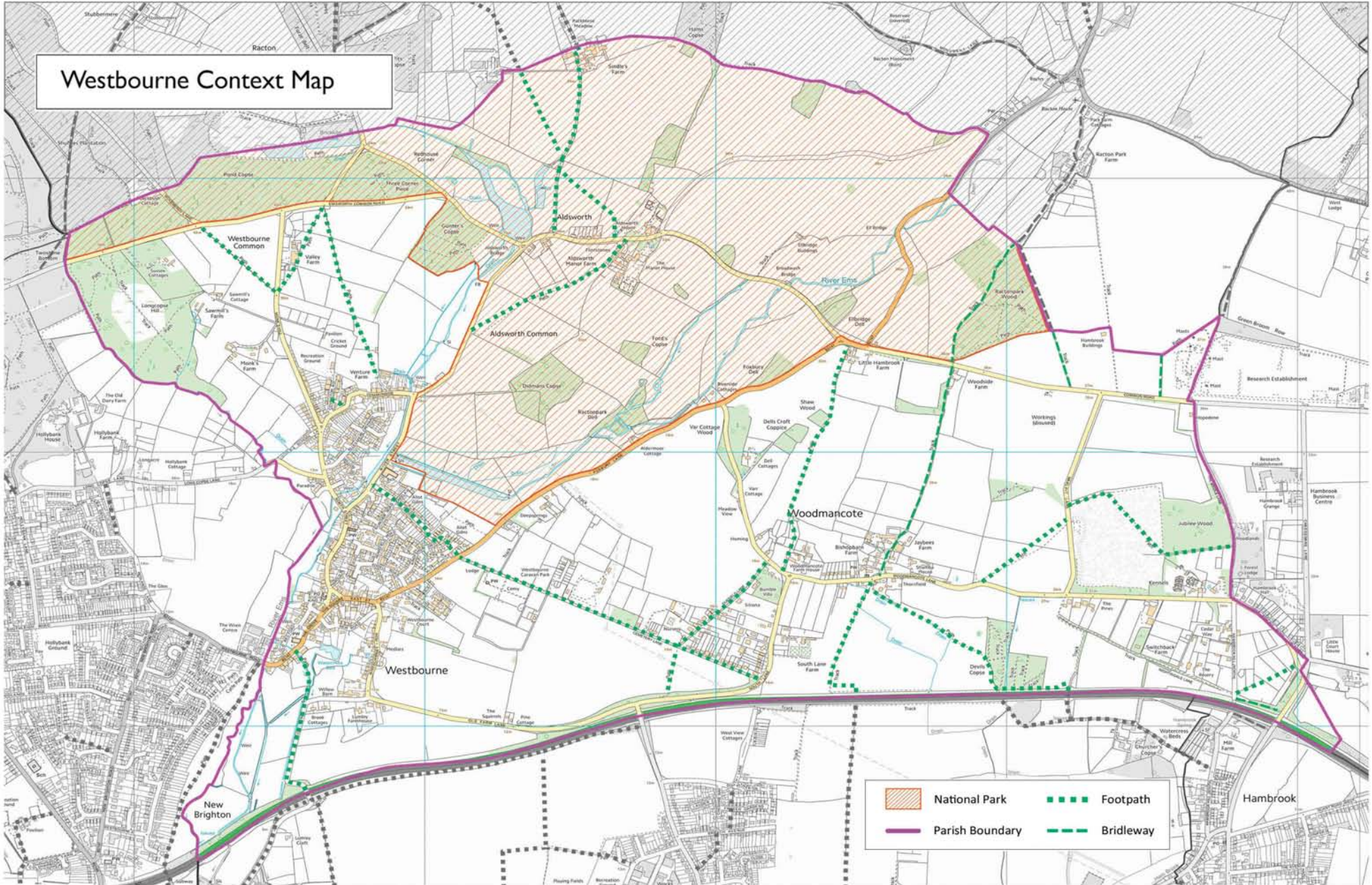


# WESTBOURNE VILLAGE DESIGN STATEMENT

SUBMISSION VERSION APRIL 2017



# Westbourne Context Map



June 2016

# WESTBOURNE VILLAGE DESIGN STATEMENT

The original Westbourne Village Design Statement was prepared as part of a nationwide experiment by the Countryside Commission into the design of rural buildings and their settings. It was produced by a Villagers' Workshop, Villagers' ideas, and a Village Design Group, with particular assistance from: Lucy Baggott, Peter Barge, Sam Griffiths, George Hardie, William Hardie, Elisabeth Kinloch, Roger Musgrave, Val Owen, Mary Shearer, Cyril Shutler and John Veltom.



**Westbourne**  
Parish Council

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## 1.0 INTRODUCTION

- 1.1 Westbourne Parish is a special living, rural Parish. Pressure from progress can produce changes which threaten this environment. The introduction of inappropriate architecture, layout and facilities can harm the rural character and charm of the village and hamlets within the Parish.
- 1.2 This revised Village Design Statement (VDS) is intended to raise everyone's awareness of our Parish and what makes it special. We are the current guardians of the area and it is our responsibility, both individually and collectively, to help preserve and develop it, as a rural community, for future generations. This VDS is intended to encourage our own community, architects, planners, developers and builders to look at the elements which make up the Parish and respect its history, form and character.
- 1.3 The Parish which the Design Statement encompasses comprises the village of Westbourne together with the hamlets of Woodmancote and Aldsworth, covering some 1846 acres of countryside. These three settlements nestle in a patchwork of open fields and woodland, interlaced by streams and country lanes. (Population 2,309 census 2011).
- 1.4 What is special about Westbourne Parish? The basic answer lies in its layout and buildings, its position and facilities, its sense of community and the myriad of detail which ancient English settlements accumulate over the years. Westbourne, still essentially rural, retains a small commercial centre, and is one of the few remaining villages of this type in the Portsmouth environs, albeit in Sussex. Development without consideration of the whole nature of a community can threaten its future.
- 1.5 This Statement attempts to define the local distinctiveness of Westbourne Parish to ensure the inevitable changes enhance, and do not harm, its intrinsic character, which has taken generations to produce, yet can be destroyed so speedily.
- 1.6 The results of the Questionnaire distributed by the WNPSG to all households in the Neighbourhood Plan Area in the summer of 2014 indicated a high level of continuing commitment to the Westbourne VDS, which was first published in 2000 following extensive input and consultation with residents.
- 1.7 Since publication of the original VDS, several new housing estates have been built in the Parish including Lark Way/Kingfisher Drive on green field land to the

west of Foxbury Lane and Chantry Hall to the east of Foxbury Lane. A small development of 10 houses has been built on brownfield land in the centre of Westbourne Village. A large portion of the VDS Area, equating to some 35.5% of the Parish, is now designated within the South Downs National Park (SDNP).

- 1.8 The Westbourne Neighbourhood Plan Steering Group (WNPSG) decided that it was important to review and, where necessary, update the guidance in the VDS to bring it into line with current policies. Additional guidance has been included by taking into account the views of residents expressed in responses to two WNPSG Questionnaires. A comment received from a resident in response to a WNPSG consultation expressed the view of most residents: 'Every effort should be made to preserve the integrity of the village as an entity in its own right. It must not become part of a vast urban sprawl'.
- 1.9 Questionnaire results indicated that the majority of residents valued most highly the natural beauty and tranquillity of the area. Wildlife, biodiversity and protection of the agricultural environment were paramount along with the importance of retaining the village's character.



## 2.0 NATURAL ENVIRONMENT

### 2.1 THE CHARACTER OF THE LANDSCAPE SETTING

Westbourne nestles in its living landscape together with Aldsworth and Woodmancote in the coastal plain beneath the South Downs and on the Sussex border with Hampshire. All three hamlets are surrounded by a diverse pattern of farmland, copses and commons which form an historic landscape. The South Downs give way to gently undulating hills to the north of the Parish falling away to flat ground near the coast. The northern area of the Parish is included in the SDNP. Water too plays an important and highly visible role. The River Ems defines the county boundary to the west and springs, ponds and one-time watercress beds create valuable wildlife habitats throughout the Parish. It is this delicate balance of land and water that makes the area visually and ecologically diverse. See: WSCC Landscape Character Areas Southbourne Coastal Plain and the Ashlings, Halnaker and Fontwell Upper Coastal Plain Character Areas and Local Distinctiveness Guidelines – Local Distinctiveness of the South Coastal Plain and the South Downs Integrated Landscape Character Assessment.

2.2 The north/south corridor, parallel to the River Ems, from Westbourne to the Hermitage mill ponds and the sea, formed part of the Chichester to Emsworth Strategic Gap in the previous CDC Local Plan; under the new Local Plan Strategic Gaps are no longer recognised. The Westbourne Neighbourhood Plan (WNP) is aiming to designate parts of the old Strategic Gap as 'Local Gaps' and has also added new areas for protection. These Local Gaps are very valuable assets and villagers set great store on their long-term retention as a fundamental way of protecting the distinctive character of individual settlements and preventing rural communities from being dissolved into an urban sprawl: to prevent the coalescence of the Parish and surrounding settlements. Green infrastructure, such as allotments and common land which form part of the 'green network', also play an important role as do playgrounds and cricket pitches.

2.3 An ancient network of roads and lanes still provide the major road system for the area. Many of the lanes and roads have hedgerows, some with grass verges and drainage ditches, and some without. Often hedges are found in association with embankments and the species-rich nature of these hedgerows complements their visual attraction. The hedgerows, many of which are considered ancient, form part of the character and green infrastructure of the Parish and it is important that these are retained.

2.4 Footpaths, both official and permissive, criss-cross the Parish. Looking east from the Sussex Border Path, the Parish is separated from the urban surrounds of the Hampshire towns Emsworth and Havant by a verdant swathe of green fields. This provides a shared visual amenity for the two counties and also helps retain Westbourne's separate Sussex identity.

### 2.5 AGRICULTURE

Agriculture plays an important part in the visual amenity of the Parish. The centuries-old pattern of seed and harvest time can still be seen on the farms, even though large machinery has taken the place of labour and the loss of many a hedgerow has been one of the prices paid.

2.6 There is a clear division of soil types in the area; to the south come the brick earths, rich fertile, stone-free soils that form some of the best arable ground in the country. North of this, soils are poorer and more varied but in return provide a more interesting and diverse landscape which climbs almost imperceptibly towards the chalk hills of the South Downs. The Parish is mainly designated as agricultural land of varying grades.

2.7 Winter-sown wheat, barley and oats, oilseed rape, linseed, peas and beans harvested by combine are typical of the current harvest. Where the soil is poorer, livestock plays a more important part in the farming system. Grass is grown, either as grazing for sheep, beef and dairy cattle, or to be cut for hay or silage to provide winter fodder. Maize, cut green in autumn, is increasingly seen, grown for the same purpose.

### 2.8 LEISURE PURSUITS

Walking and cycling are major leisure pursuits for many local residents. Tucked away in small meadows, or adjacent to homes, horses, ponies and the occasional donkey are to be seen grazing, summer and winter. Riding is a major leisure pursuit throughout the Parish and the small meadows used for grazing form part of the essential rural nature of the area.

### 2.9 WATER SYSTEMS

The River Ems and its tributaries run north-south through the Parish. These form an extensive water meadow system to the north-east of Westbourne village centre and include a 17th century mill canal. The streams form not only a relaxing and picturesque element of the village but support a great variety of



wildlife. Some elements of this spring-fed water system occasionally run dry, reflecting the changing weather patterns and the regrettable practice of water extraction out of the surrounding meadow land is degrading the habitat and will reduce the diversity of its wildlife. Measures are being explored to rectify these problems in the form of the Emsflow Project. Settlements have traditionally formed near an ample supply of water and where the water table is close to the surface. An extensive water meadow system, a canal, water mills, bridges and fords are found in the Parish. A considerable amount of flooding has been experienced under certain weather conditions. These factors are an important and intrinsic part of the area.

#### 2.10 WILD LIFE

As expected with different habitats there is a wide diversity amongst the wildlife of the Parish. A comprehensive listing can be found in the Sussex Biodiversity Record for Westbourne 2015. A survey published in 1989 of Sindles Farm (300 acres) at Aldsworth identified over 300 species of vascular plants along with a wide range of other flora and fauna.

- 2.11 Grass verges, hedgerows and open space allocation will be an important part of any new development. Wildlife can use these as 'Green corridors' to enable movement between feeding and breeding grounds and other areas of green infrastructure and 'open' space.



## 3.0 THE MAIN CHARACTER AREAS

3.1 The Parish of Westbourne can be divided into a series of separate broad character areas:

- 1 The wider area of the main settlement of Westbourne;
- 2 Countryside within the South Downs National Park (SDNP) and the hamlet of Aldsworth;
- 3 The hamlet of Woodmancote and;
- 4 Countryside outside the SDNP.

## 3.2 THE MAIN SETTLEMENT AREA OF WESTBOURNE

All the entrance routes into the village retain a delightfully rural aspect. Most are enhanced by hedges, the flint work of boundary walls and buildings; informal or old road edging and greenery. Monk's Hill to the north is graced with superb, unbroken views across common land, fields and downs especially to the east, and the sea to the south. The spire of St. John the Baptist is evident from all approaches. This church evolved during the 13th to 16th centuries and is graced with a yew tree avenue planted circa 1500. The church and the surrounding area sets the fundamental historic character of the village.

The charm of Westbourne can be said to lie in the variety, layout and spatial relationship of its old buildings. These range from timber-framed thatched cottages, to porticoed Georgian houses, to Victorian terraces. There are many listed building as well as other, non-listed buildings and structures that contribute to the area's special character. There are 66 Listed buildings. The historic core of the village, much of North Street including the former mill, mill pond and associated mill leats and ponds have been designated as a conservation area.

Continually changing views are presented - there is hardly a straight road or lane in the village. The Westbourne Context map (see inside front cover) shows where green pastures unexpectedly reach into the centre and it is these which reinforce the rural aspect of the area and add to the special nature of Westbourne. Unlike many villages today, Westbourne maintains a thriving community of village shops clustered around The Square. These provide for all the basic necessities and their value is enhanced because many retain elements of their original shop fronts. They provide the right balance of services without dominating. A number of houses in the village still show architectural features from their past use as shops, which adds to their distinctiveness and character.

## 3.3 THE CONSERVATION AREA

Much of the main Westbourne settlement lies within the Conservation Area (which is currently under review). The main feature of the Westbourne Conservation Area is the way in which the local stream, the River Ems, has had an impact on the historical development of the settlement. The stream forms the western boundary to the village and has for centuries been used to power mills and to provide water for homes and for agriculture – watercress beds were a particular local speciality. At various points there are reminders of this, with two large ponds to the north and east and various mill leats which meander attractively through the village. Despite the large areas of 20th century housing to the north-east and north-west of the historic core, the conservation area retains a recognisably historic streetscape, helped by the surrounding open countryside which is a notable feature to the west and east of Westbourne. See Westbourne Conservation Area Character Appraisal and Management Plan (2012) by Chichester District Council (CDC).

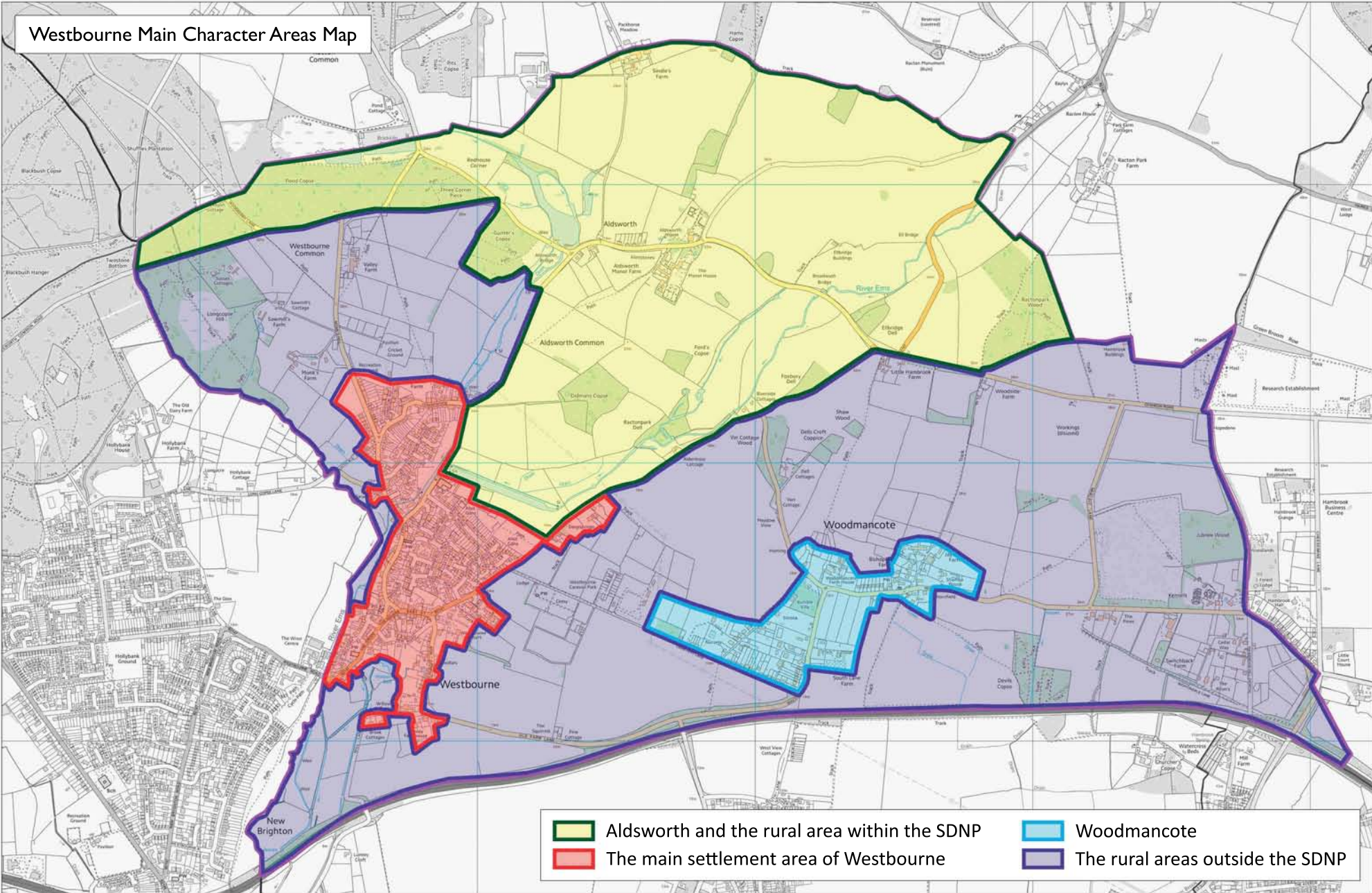
## 3.4 MAIN CHARACTERISTICS OF THE CONSERVATION AREA

- 1 Tightly grouped buildings of irregular line;
- 2 Main street frontages abut onto pavements but off the main thoroughfare they sit directly onto the street;
- 3 Frequent and irregular stepping of facades; varying texture and finish; in combination with a broken roof line of both clay tile, thatch and slate and an assortment of chimney stacks;
- 4 A large range of style, size and age of buildings in a relatively small area. The ever-changing vista presented by short or quickly curving lanes and streets of different aspect. Until relatively recently there have been no out-of-keeping, building additions and;
- 5 Commercial uses mixed with residential.

## 3.5 COUNTRYSIDE WITHIN THE SDNP AND ALDSWORTH

The entrance to the SDNP is situated to the north of the main Westbourne settlement. The land rises gently up to the South Downs which provide a backdrop to the Parish. To the north-west are expanses of copse, extensions of the historic Southleigh Forest to the west. Directly to the north of Westbourne village the old enclosed field pattern is in evidence. Further to the north east more modern open fields lead up to the downland slopes. Along the south of Hams Copse, just east of Sindles farm, a section of the medieval Parish boundary bank can still be seen. The composite mix of broad-leaved hedge and tree species it contains, together with vigorous bluebell woods alongside, are a good indicator of its centuries old existence.







3.6 Aldsworth is a modest hamlet to the north of the Parish. It lies on an east-west road which climbs slightly to reveal the major properties of Aldsworth House and Aldsworth Manor, together with its farm poised on the ensuing ridge. Pairs of attractive flint and slate Victorian cottages line the Emsworth Common Road. Sindles Farmhouse and some of its buildings lie just inside the Parish boundary.

The area includes Brickkiln and Aldsworth ponds. These form an important area for wildlife, especially wildfowl. In hard weather, the temperature of the spring water keeps the Aldsworth pond and its edges from freezing and enables Lapwing, Snipe and Woodcock to feed in the soft mud denied to them elsewhere.

### 3.7 THE HAMLET OF WOODMANCOTE

This 15th century manor has become a small hamlet to the east of Westbourne, known at one time for its one pub, shop, church - the shop is now gone. Farms and farm buildings form the oldest part, perhaps dating back to Domesday, some of which have been sympathetically converted into housing. There is a small 100 year old church, the relative newness being made remarkable by its structure - corrugated iron. The remainder of the housing is a mix of Victorian properties through to the 1990s, although later additions are relatively few. Woodmancote has at least one hedge considered to be over 600 years old.

3.8 Woodmancote sits on a geological strata known as ‘clay with flints’, which has been in constant demand for gravel extraction over the past 20 to 30 years. Further workings in Woodmancote are proposed in the emerging Minerals Local Plan which is being prepared jointly by West Sussex County Council (WSSCC) and the SDNP authority. It will replace the Minerals Local Plan adopted in 2003 and will set out the strategy until 2031. Results of the consultation engagement exercise for the Mineral Sites Study, which took place in 2014, indicate that residents and statutory bodies are concerned about the impact on the SDNP and the landscape generally, noise, pollution, traffic, the effect on groundwater levels and the potential of the works to increase the risk of flooding. The authorities (WSSCC and SDNP) have undertaken to carry out a range of technical studies and assessments to address the concerns which will inform the site selection process.

### 3.9 THE COUNTRYSIDE OUTSIDE THE NATIONAL PARK

This is land to the north-west, east and south of the main settlement of Westbourne village. A flatter, relatively open landscape comprising a patchwork of fields, pastures and areas of woodland, criss-crossed by narrow winding lanes and minor roads with dispersed, mainly isolated farmsteads and small groups of

mainly residential buildings. The land to the north-west and east provides grazing and fodder for cattle and horses and the land to the south is high quality, fertile arable land. This area has a vital role in providing a green ring around Westbourne. This reinforces Westbourne’s status as a clearly identifiable rural West Sussex village, contributes to the peacefulness and tranquillity of life in the Parish, sustains a wide variety of flora and fauna and provides facilities for the promotion of wellbeing among the local community and visitors.

### 3.10 THE BUILT ENVIRONMENT

Westbourne’s history dates back to the Domesday Book of 1086. The agricultural area developed into a busy market town with the height of its prosperity in the 17th century.

3.11 The delightful appearance of the Parish is founded in its meandering lanes and the great variety of materials and finishes used in its buildings. Throughout the village, brick and rendered walls are the common feature, interspersed with flint for both house and boundary walls. The flint boundary walls make a strong statement in the Hampshire and Sussex countryside. Variety continues with the roofs, where plain clay tile and slate sit side-by-side, the older clay tile roofs often bowing under the burden of the passing years, but providing a colourful base for the ever-changing form of the chimney stacks. There are a number of very attractive and ancient timber-framed cottages, some still retain their thatched roofs.

### 3.12 MODERN ESTATES

The Westbourne element of the Parish has absorbed a lot of development over recent years. Mill Road was built during 1939 and 1950. Architecturally, the houses are of warm red brick construction of irregular plan. This, and the strong pitched roofs has enabled this development to mature and it does not look out of place in its environment. Individuality is creeping in with private ownership and this enhances the area. Mill Road would have been even more in keeping if it had not been laid out in a straight line, which is at odds with the old village.

3.13 The extension to Mill Road formed by Churcher, Homefield and Crockford Roads was built in 1985 to provide further Local Authority housing. Whilst the area is pleasantly open, the houses are plain and regular and the roads straight. It is regretted that no effort was made to visually blend the estate in with the rest of the village in any way. Edgell Road estate is the latest Local Authority housing development and here some effort has been made to produce housing of a style, texture and variety which generally sits better in the environment.

- 3.14 Ellesmere Orchard is a private estate comprising typical houses of 1960s style. No attempt was made to style them in sympathy with the village character. Old Rectory Close is a small private estate tucked behind the church. It features modern style houses of the 1970s period and, although the area has developed a peaceful, relaxing atmosphere, no thought was given to adopting architectural styles in keeping with the character of the adjacent village centre.
- 3.15 These more recent developments of estate housing do not show any particular evidence of being designed in keeping with the styles of the mature heart of the village, rather they are examples of their time.
- 3.16 While the first edition of the Westbourne Village Design Statement was in preparation, a new development on a greenfield site was under construction on the north eastern edge of Westbourne Village, extending Edgell Road into Kingfisher Drive, Lark Way, Mallard Way and Grebe Close. In this high-density development the houses are arranged as a mix of terraces, semi-detached and detached rows and clusters. An effort has been made to use a mix of traditional styles, although the use of modern materials for windows, doors and roofs sits at odds with the vernacular style. This development lacks the green verges and spaces that provide a sense of space in the earlier estates, despite some tree planting and landscaping which was intended to relieve the urban feel. The internal roads on the estate are narrow and, although garages are provided, cars are usually parked straddling the pavements. This results in a dense, cluttered feel inappropriate for an edge of village site bordering the countryside
- 3.17 Chantry Hall is an age-restricted development dating from 2009 which has taken on board the guidance set out in the first edition of the Westbourne VDS. The 28 houses are grouped in terraces around a green and car parking area. The traditional style of the houses and the materials used reflect those found in older houses elsewhere in the village. The low density of the development, which is set back from the main road within landscaped gardens, means that it is not out of character with the significant houses set in large plots occupying the eastern side of Westbourne village.
- 3.18 Smaller developments of affordable housing units have been built in recent years on the eastern side of Westbourne. These are of different styles where the emphasis appears to have been on creating energy efficient housing but at the expense of designs that sit well with the other houses in the area.



### THE VILLAGERS' WISHES

#### 3.19 CHANGE MANAGEMENT

People have many reasons for choosing to live in the Parish: residents do appreciate its old rural character, its sense of community and the fact that it is an active, living village with small shops, services and facilities. It is the oasis in an encroaching urban sprawl. The villagers wish to protect this, and have it respected.

3.20 If Westbourne, Woodmancote and Aldsworth are to retain their identity, then change and additions need to be sensitively managed.

3.21 The aim should be that any new housing should be absorbed without detriment to village character or infrastructure and with the number of newcomers able to be integrated into the community most easily.

#### 3.22 FUTURE DEVELOPMENT

New additions ought to blend with the older parts of the Parish, both architecturally and in the way they are arranged in relation to each other and, if new roads are added, that these follow gentle curves similar in scale and edging to the existing, subject to the Highway Authority. Where new roads



are laid out, the villagers would like to see a diverse mixture of verge and kerb, bank, wall, hedging and paths.

- 3.23 Any further development should neither lead to an urban sprawl nor to subordinate the character of the village. The existing estate areas will, in time, mature and develop a character of their own but would be greatly improved by the introduction of a sympathetic tree planting programme. Housing styles, arrangements and layouts which emulate the older village will sit better in the landscape.
- 3.24 The possibility of encouraging the development of workshops or live/work units in suitable locations within the Parish, for the use of the self-employed, should be actively pursued.
- 3.25 The villagers would like to see both new extensions and estates to blend with the older parts of the Parish, both architecturally and in the way they are arranged in relation to each other. If new roads are added, then these should follow the generally informal nature of the existing appearance and street patterns, maybe introducing cobbled lengths to discourage speeding traffic, using similar scale and edging to the old existing, wherever possible.
- 3.26 The design of any housing developments permitted on the edge of the settlement area either in or abutting the countryside should allow a gradual transition from the more urban style of the central village to the rural aspect of the land reaching into the countryside. The design should take account of its setting within the landscape and the character and appearance of both its surrounding and the area. It is particularly important in these areas to incorporate green infrastructure and create green spaces within developments and to allow views of the countryside beyond. Consideration should be given to the design and appearance of roadways, paths, fencing and communal areas which should reflect the rural nature of the location. Equally important is the provision of adequate and well-located parking in order to avoid a cluttered street scene.
- 3.27 Suitably pitched roofs, thatch, clay tiles, dormer windows of appropriate scale and design and choice of brick, flint and other traditional materials, can enable a new addition to complement and sit in harmony with its older neighbours. High-quality innovative designs set next to each other, in irregular juxtaposition, can add visual interest. The appearance of any new street, and buildings along

it, should be sympathetic to the character and appearance of existing buildings and surrounding area in scale, layout and design, without pastiche.

- 3.28 Responses to the WNPSG Questionnaire in 2014 indicate that the two areas that concern the community the most are the retention of the rural character and heritage of the Parish and it is feared that this will be affected by future development. There is a clear indication that parishioners would like to see the Conservation Area enlarged.
- 3.29 Responses to the WNPSG Questionnaire in 2014 demonstrate concern that developers (and some residents) are not adhering to the guidance set out in the Westbourne Conservation Area Character Appraisal and Management Proposals.

### 3.30 ALTERATIONS AND ADDITIONS

Throughout the Parish, when considering extensions, alterations, new buildings, care should be taken in the choice of materials, scale and design, in order to reflect the character of the main or surrounding buildings and to enhance the rural nature of the Parish. New uses in existing buildings need careful thought as they may necessitate changes to the appearance or function of the buildings which could detract from the character of the area. Insensitive use of modern interlocking concrete roof tiles can often mar a building's appearance, as can modern style window frames, external pipework, exposed service metering boxes and garish shop advertising schemes and boards. Inappropriate design or arrangement of lighting, whether public or private, inevitably pollutes the night sky.

### 3.31 STREET FURNITURE AND SIGNS

Much of Westbourne is a conservation area, but even this has failed to stop the inappropriate installation of certain features. Modern style highway lighting, garish shop signs, and the proliferation of plastic litter bins, street bollards and the latest type of modern telephone box can be intrusive and detract from the character of the area. The styling and construction of such relatively minor additions must be given the same attention as the major developments, an accumulation of minor items can quickly conspire to erode the village character. Unnecessary signs and clutter are to be resisted and utility companies made aware of their duty to respect the heritage of the Parish and complement the character of the village.



- 3.32 Street lighting is largely limited to the centre of the Westbourne settlement area. The Parish is partly within, and mostly adjacent to, the SDNP and it is important to respect the 'Dark Skies' emerging policy approach of the SDNP authority by continuing to restrict the provision of lighting to the main residential area.
- 3.33 It is essential, particularly in the Conservation Area, that replacement lighting should be of traditional design and materials.
- 3.34 The Community wishes to retain the Finger posts which are a particular feature of the whole Parish.
- 3.35 Redundant signs should be removed as soon as they have served their purpose.



- 3.36 Highway signage and speed control features should be kept to a minimum and designed to be compatible with the historic character of the Parish, not only within the Conservation Area. Suburban physical features such as rumble strips, speed bumps, traffic islands, cross hatching on roads and continually reinforced speed restriction signs can be unsightly and detract from the rural character of the Parish.

## 4.0 FLOODING

- 4.1 The Westbourne water table is extremely high throughout the area, and it is necessary to take all due care with future development in ensuring that disturbances of this table do not have a deleterious effect on existing properties. It needs to be noted that the majority of the Parish properties do not boast foundations in the modern sense. Extensive tracts of land in Westbourne Parish fall within Flood Zones 2 and 3. For the most up-to-date information on local flood risks see: <http://apps.environment-agency.gov.uk/wiyby/37837.aspx>.
- 4.2 Responses to the WNPSG Questionnaire (Summer 2014) indicate that flood risk is a major concern to Westbourne residents. 92% of respondents expressed a wish for new development to include flood risk mitigation. They also wish to avoid new development in areas of high flood risk. Therefore it is essential that developers adhere to Policy 42 (Flood Risk) in the Chichester Local Plan: Key Policies 2014-2029 which is based on the guidance in the National Planning Policy Framework, (NPPF).

## 4.3 SURFACE WATER

- The retention of the River Ems and its features, ponds, watercress beds, the canal etc. is important as these bring their own aspects to the landscape, and every effort must be made to promote their continuing existence as the demands for water escalate in the south.
- 4.4 Parishioners are concerned that research be undertaken to properly quantify the amounts of water being removed or diverted in the area. They believe that careful monitoring to prevent flooding or drying out, and ensure environmental sustainability is necessary.
- 4.5 Residents wish to continue to support the Emsflow Project, a multi-Parish operation to investigate and remedy the surface water problems along the length of the River Ems.
- 4.6 Systems to reduce surface water run-off should be incorporated into new developments. Soft and green landscaping is preferable to hard landscaping and should, where possible, incorporate beneficial sustainable drainage systems (SUDS).
- 4.7 Hard surfacing should use porous paving, stone and gravel materials whenever possible.



## 5.0 INFRASTRUCTURE

- 5.1 The lanes and services of the Parish, including the size of Westbourne primary school, were not designed to handle village demands beyond their current levels. Any growth or ‘improvements’ in such areas must also include a commensurate improvement in the infrastructure while retaining the rural nature of the Parish. All new development with new access roads should be constructed to adoptable highway standards. The three development sites proposed in the emerging Westbourne Neighbourhood Plan (WNP) will be required to provide the expected levels of infrastructure required by legislation, as will any ‘windfall’ sites that gain planning permission during the lifetime of the WNP.
- 5.2 Most of the houses in Westbourne village were built before the existence of the motor car and have no parking facilities. Therefore on-street car parking is the norm within the village and this has had a negative effect on the street scene. Residents are particularly anxious that any new development should have adequate and well located off-street parking facilities.
- 5.3 Pedestrian crossing areas should be marked with brick or cobble that also serve to reduce traffic speed.
- 5.4 Parking areas should be surfaced using porous materials; tarmac and concrete are considered inappropriate.



## 6.0 COUNTRYSIDE

- 6.1 It is important to retain and if possible, expand broad-leaf woodland and hedge planting with native species. They are a rich source of flora and fauna and wildlife habitat besides being a visual amenity that everyone can appreciate. Important hedgerows can be legally protected. The retention of the River Ems and its features, ponds, watercress beds, the canal etc is important as these bring their own aspects to the landscape, and every effort must be made to promote their continuing existence. The Parishioners consider it very important that, where green pastures reach into the villages, these should be preserved. The WNPSG Questionnaire in the summer of 2014 revealed that protection of the local agricultural environment is a high priority for the local community.

## 7.0 VDS GUIDELINES

### 7.1 TRAFFIC/ROADS/PEDESTRIANS

- 1 The needs of people should be put before ease of traffic movement in designing the layout of all residential developments.
- 2 New development should help to create places that connect with each other sustainably, providing the right conditions to encourage walking, cycling and the use of public transport. People should come before traffic.
- 3 Any new dwelling should incorporate at least 2 off-street parking spaces on site.
- 4 If new roads are added, then these should follow the generally informal nature of the existing appearance and street patterns and integrate with the existing road network. Parishioners would like to see a diverse mixture of verge and kerb, bank, wall, hedging and path set in juxtaposition with each other; consideration could be given to introducing cobbled lengths to discourage speeding traffic, using similar scale and edging to the old existing details, wherever possible.
- 5 Unless to improve or enhance the village entrances to Aldsworth, Woodmancote and Westbourne, the Parishioners wish to resist changes to them.
- 6 Direction signs remote from the village should continue to route traffic for major destinations around the village on the A and B roads and not through it.
- 7 Traffic-calming measures, compatible with the character of the area should be introduced at all entrances to the village, and at strategic points within the village (for example, by the primary school).
- 8 Walking or cycling to school along safe routes should be facilitated.
- 9 During maintenance of roads and pavements, consideration should be given to raising the kerb height or reducing the accumulation of tarmac to restore levels for efficient run-off of storm water and to ensure that the width, level and surfaces are adequate for the safety of pedestrians. This helps to discourage the parking of vehicles on the pavements. Natural stone kerbs should be retained where possible.
- 10 Unmade tracks, byways and paths are important parts of the village character and should be retained and remain unsurfaced.
- 11 Wider lanes and roads or expanded facilities and services will, without sufficient care, speed the change from a rural parish to an urban one.

### 7.2 RURAL ENVIRONMENT

- 1 The retention of the rural environment and appearance is of immense importance to the Parish.
- 2 New developments permitted on the edge of settlements or in the countryside should reflect the rural nature of the location in terms of density, design of housing and of the roads, pathways and communal areas with particular attention paid to the provision of adequate well-located parking. They

should give high priority to landscape design to protect and improve the external view of the village.

3 Parishioners would like to see those 'Important Views' and breaks, as listed on page 17, over fields, greens, recreation areas, triangles and paths preserved by ensuring that the height of any new buildings is kept in scale with the existing.

4 Developers should protect existing views within the village and into the countryside, and should create vistas for newly developed areas. Any new development or large building extension proposed for a significant gap or space between buildings should be resisted.

5 Where planning conditions require planting, use of native species appropriate to the landscape character and ecology of the location should be encouraged.

6 Developments, including changes in boundary hedges, fences, gates to fields and dwellings, should be designed to allow views of the river and water meadows.

7 When considering conversions and extensions to their properties, owners should be conscious of possibly disturbing protected species, especially bats, which are common in Westbourne. They should seek advice from Natural England.

8 Proposals for development in the countryside around Westbourne should be scrutinised carefully to ensure that it would not harm the tranquillity of the country lanes, be contrary to AONB or SDNP policy, or lead gradually to the coalescence of settlements.

### 7.3 BOUNDARIES AND HEDGES

- 1 In future developments, boundaries should be walls of brick, or brick and flint, or broadleaf hedges.
- 2 There is a strong desire to see hedges planted and maintained wherever possible and replaced wherever practicable. Extra tree planting is seen as very desirable, preferably with native species. New developments should retain hedgerows on site, and boundaries should be marked with broadleaf hedges rather than fences.
- 3 Historic unlisted walls and buildings outside the conservation area should be recognised and respected.
- 4 Close-board fencing can look inappropriate if it faces onto a road or path and its use should be avoided for boundary marking in the future.
- 5 Post and rail fencing can be appropriate for some of the more rural properties.

### 7.4 GENERAL DEVELOPMENT CONSIDERATIONS

- 1 To keep a diverse population, future large developments in the village should consist of a mixture of open-market housing suitable for all income levels, and some subsidised housing, with proper parking facilities for all, and shared recreational areas in accordance with the WNP Land Use Policies.
- 2 Where possible any future new developments should be designed to include



premises attractive to people looking for opportunities to work from home, and/or to young people wishing to start small businesses. Provision of low-cost, basic premises for small B1 (a) or (b) enterprises, adjacent to new residential developments, should be encouraged.

3 Re-use of redundant agricultural buildings within the village and the outlying settlements should be considered favourably, provided the changed use is compatible with the amenity of surrounding properties and landscape.

### 7.5 SYMPATHETIC DESIGN, SCALE & MASS: NEW BUILDINGS & EXTENSIONS

1 Developments should keep the scale and mass of new buildings and extensions, and the way they are laid out, in keeping with the style of the Parish. Buildings should be no higher than two-storeys in keeping with adjacent buildings.

2 Different high-quality designs set next to each other, slightly varying in style, with terraces or a variety of spaces between buildings will help to maintain the rich architectural diversity of the village.

3 Suitably pitched roofs, thatch, clay tiles, dormer windows and choice of brick, flint, render or other traditional material enables a new addition to complement and respect the character and appearance of adjacent buildings.

4 New extensions and estates must take account of the character and appearance of the older parts of the Parish, both architecturally and in the way they are arranged in relation to each other.

5 The retention of architectural features and fittings which mark previous commercial use, such as shop window styles and fittings or mill features are seen as historically important.

6 Suburban 'pattern-book' layouts should be avoided. New developments should be diverse, with varieties of style, house types and siting, using materials appropriate to a rural environment and avoiding an excess of roadway. New development should respect the local distinctiveness of the rural and urban character of the District.

6 Extensions to existing buildings should generally be subordinate in scale and appearance to the existing building, and existing features of period buildings, including outhouses, utility buildings and walls, should not be destroyed. Garages attached to new developments should be modest, not dominant.

7 All proposals for development in the Conservation Area should be designed to fit sensitively into the context.

8 High-quality contemporary architecture, harmonising in proportion, materials and detail with the village environment, should be permitted. The existing variety of building materials in the Parish should be protected, and variety should be encouraged in new buildings.

9 Architects and designers, including those modifying existing buildings, should

avoid monotonous repetition of one house type – though uniformity of design in small developments can be acceptable, such as in terraced housing

10 Frontages, including upper storeys, should be kept in sympathy with neighbouring facades. Roof lines should be maintained, and slight variation permitted. Dormer windows should have pitched roofs. Roof materials, pitches, dormers, gable ends, porches, chimneys and brick colours should be designed to blend with existing buildings.



### 7.6 BUILDING TYPES AND STYLES

1 Historic larger farm and manor houses usually in generous plots with tiled pitch roofs and casement windows. Predominantly two-storey, sometimes with attic accommodation;

2 Detached and semi-detached Villa style houses usually with vertically proportioned sash windows, often with shallower pitched slate roofs set within garden plots, sometimes with render finish;

3 Vernacular cottages some timber-framed and others of brick and stone, either detached, semi-detached or in short terraces with pitched hipped or gabled tiled roofs set into the surrounding landscape. Mainly with smaller casement windows and prominent pitched roofs;

4 Uniform late 18th/early 19th century terraces of houses with prominent chimneys and shallower pitched slate roofs;

5 Tighter more mixed terraces of cottages and larger houses with varied eaves and ridge lines mainly within the settlements with either small front gardens or hard up against the back of pavement or the street;

6 Parades of shops with accommodation above;

7 Later 20th century estate houses;

8 More modern infill development;

9 Former mill building;

10 Farmstead groups; and

11 Agricultural buildings including barns, stock houses and grain stores.

### 7.7 DOORS AND WINDOWS

Historic doors, windows, porches, lintels and dormers, in a variety of styles, pattern and character, have an important impact on the look of many buildings.

### 7.8 ROOF FORMS AND MATERIALS

Thatch, traditional red clay tiles with red ridges, various concrete tiles, Welsh slates often with red clay ridges, lead dressing, corrugated iron, asbestos, Roman interlocking, with a wide variety of stacks & chimney pots. A very occasional flat roof.

7.9 Roofs are predominantly pitched, the angle of pitch reflecting the original roofing materials, slate roofs often slightly shallower than tile roofs. Terraces have simple pitched roofs with ridges parallel to the street and hipped or gabled ends. Some have small scale dormers but few gables apart from later developments.

### 7.10 EXTERIOR WALLS

Some proudly bear the dates 1631, 1758, 1867, 1873, 1901. House and garden boundaries in: flint work, endemic to chalk lands, coursed or random, coursed or random knapped, with or without galletting. Brickwork, one time local made from Hayling Island, Rowlands Castle reds, or Midhurst whites: 2 stretchers and a vitrified header, stretcher bond (cavity work). An occasional facing blockwork. Dearne's bond for humble buildings and garden/boundary walls.

### 7.11 FINISHES

Colourwash, render and colourwash, pebbledash, painted pebbledash, timber cladding, tile hanging, even fair faced blockwork with red mortar.



### 7.12 WINDOWS

Double hung sash, side hung casement, top hung vents: relating to the style and age of the building, mainly timber, sometimes metal, occasionally plastic, with every combination of glazing panes, and of course some leaded casements. Some windows have stone surrounds, and many with stone carved lintels.

### 7.13 STREET FURNITURE AND SIGNAGE

1 The design and materials used for such things as signs, sign posts, litter bins, street bollards and lamp posts should be considered carefully. In the Conservation Area especially replacements should respect the character of the area and should be of 'heritage' style.

**NB Heritage style:** A synonym which denotes a neighbourhood unified by a similar use, architectural style and/or historical development. In the Westbourne context heritage means: The materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of historic Westbourne, and which must be retained in order to preserve its heritage value.

2 Signs and advertising displays should be made less garish and overpowering in the future.

3 Retain and extend flagged pavements in the centre of the villages wherever possible.

4 Unnecessary signs and clutter should be resisted and utility companies made aware of their duty to respect the heritage of the Parish.

5 Encouragement should be given to the removal of redundant signs particularly when new ones are proposed.



### 7.14 NEW TECHNOLOGIES AND UTILITIES

1 Solar panels should be sited to minimise the effect on the appearance of the building and the surrounding area. Wind turbines are viewed by the community as unsightly and should be discouraged.

2 Whenever possible satellite dishes should not be mounted on street frontages.

3 Utility services to all new developments should be provided underground

where possible. Existing over ground wires and cables should be replaced as opportunities arise.

4 Utility meters and service units should be sited on side elevations where possible or coloured to blend in on front elevations.

### 7.15 LIGHTING AND LIGHT POLLUTION

1 Attention should be given to reducing night sky light pollution by the use of appropriate types and levels of public and private external lighting.

2 Whenever possible, developments which provide street lighting should do so on buildings or on well-chosen poles. The lighting should have a low light-pollution level.

3 Private security lights should be shielded and carefully sited to illuminate the required area without creating a traffic hazard.

### 7.16 NON-DESIGNATED HERITAGE ASSET

The Victorian Cemetery in Cemetery Lane has now been recorded as a non-designated Heritage Asset on the Chichester District Historic Environment Record and it is vital to protect its buildings, the walls and its unique setting.

### 7.17 DESIGN FEATURES AND MATERIALS

1 A palette of existing local materials is to be encouraged in line with those described earlier.

2 Contemporary material may be introduced but should only be used where appropriate.

3 New roof lights should be carefully considered in terms of position, size and detail.

4 Replacement doors, windows and guttering should be sympathetic to the age and style and materials of the building.

5 The use of projecting string courses, headers, hoods, and flint and lacing to ensure a thematic link to the Westbourne vernacular style is to be encouraged. A matching colour of brick for extensions is vital. Modernisation of windows and doors should be done sensitively. Where possible, existing chimneys should be retained, or chimneys should be incorporated in new building work.

6 Owners of listed thatch-roofed houses should ensure that their re-roofing complies with the guidelines contained in the English Heritage booklet 'Thatch and Thatching'

7 Walls: Light red brick matched to the traditional brick in the village. Patterning with headers. Pointing in accordance with traditional brickwork in the village. Avoid painting or rendering where possible.

8 Roofs: Straight pitches with red flat clay tiles, 45° pitch or slate 30° pitch, eaves with only small overhang. Dormer windows with pitched roofs to light roof spaces, rather than inserted roof-lights.

9 Windows: Brick flat arch over. Small panes with glazing bars. Narrow-framed double glazing are all to be encouraged.

10 Front Doors: Plain panelled, with glass only in upper panels, simple hood with styled brackets are to be encouraged.

11 Chimneys: New buildings should, preferably, have chimneys with corbelled courses and plain pots.

12 Rainwater Fittings: Downpipes should be sited on end walls, or as a single pipe on front wall, preferably cast iron.

13 Services: To be underground. Meter boxes should be sited on end walls or to blend with front walls.

14 Exterior Paintwork: Within the Conservation Area, exterior paintwork predominantly white. Coloured front doors with discretion.

15 When restoring existing buildings, where possible retain roof pitch, different levels, and materials

16 When restoring existing buildings, where possible develop traditional features

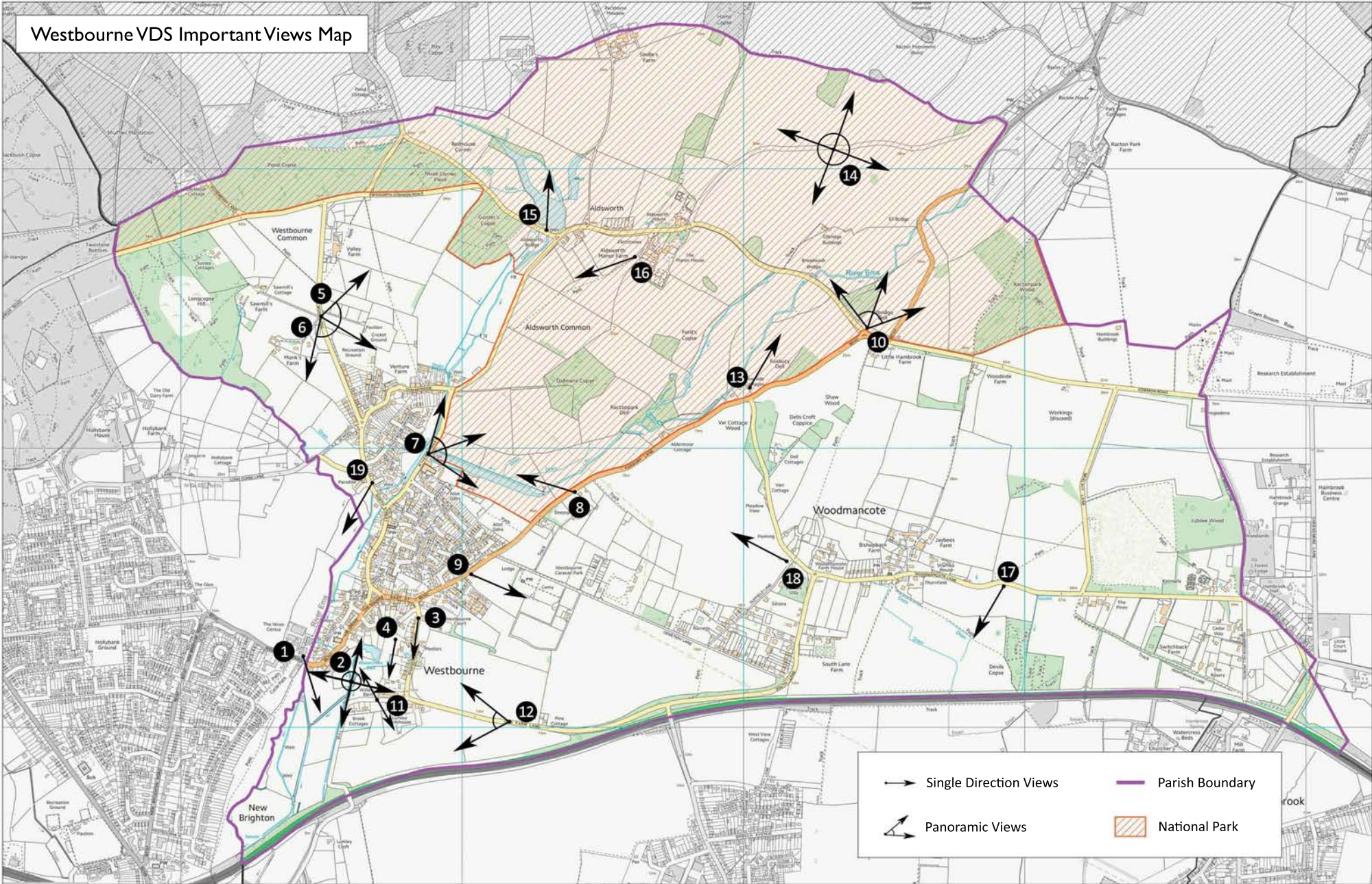
17 When restoring existing buildings, where possible retain original wall texture repointing with traditional materials and techniques

18 When restoring existing buildings, where possible retain existing windows and doors. Replace windows and doors with traditional styles, if necessary.

### 7.18 ALL NEW DEVELOPMENTS AND RENOVATIONS SHOULD AVOID:

- 1 Large areas of hard surfacing;
- 2 Mixing styles or historical references in the same building;
- 3 Introducing flat roofs, or extending existing flat roofs;
- 4 Wide-frame double-glazing (except in modern buildings);
- 5 Flat glass-panel doors;
- 6 Pantiles;
- 7 Modern 'rustic style' buildings with complex, fussy roofs;
- 8 Recessed or coloured pointing;
- 9 Stone cladding;
- 10 Roof pitch at one level;
- 11 Long dormers;
- 12 Removing chimneys;
- 13 Picture windows;
- 14 Modern doors





June 2016



<i>Ref From</i>	<i>Direction</i>	<i>Towards</i>
1 Westbourne Road	South:	East & West of Physiotherapy Clinic
2 River Footpath Mill Lane to Old Farm Lane	Radial:	View to Countryside
3 North End of White Chimney Row	South East:	Corner of White Chimney Row
4 New Road	South:	Opposite Small Street Cottage
5 Monks Hill	East:	Playgrounds and open fields
6 Monks Hill	South:	Panorama and sea
7 River Street	North:	River, fields and canal
8 Foxbury Lane	West:	River, canal and Watermeadows
9 Foxbury Lane	East:	Fields and cemetery
10 Top of Foxbury Lane	North:	Across the South Downs
11 Mill Lane	NN West:	Across to the Church
	S, SE & SW :	Across the fields
12 Old Farm Lane/Squirrels	SW/NW:	Westbourne Village & to New Brighton
13 Junction of Woodmancote Lane and Foxbury Lane	North West:	Towards Racton Monument
14 Oak Tree on the lane south of Racton Monument	Radial View:	Open countryside
15 Aldsworth Ponds	North:	Across the ponds
16 Footpath alongside Fintstones, Aldsworth	South West:	Across the fields
17 Woodmancote Lane, between Woodmancote Pub & Marlpit Lane	South & SW:	Across the fields
18 Junction of Woodmancote Lane and Duffield Lane	South West:	Across the fields towards Westbourne
19 North Street/Paradise Lane	South West:	Across the fields

## 8.0 DESCRIPTIONS OF THE IMPORTANT VIEWS

8.1 **View 1.** View from the county boundary with Hampshire over open fields and the water courses of the River Ems, including historic man-made streams used in the cultivation of watercress, a main source of farming and employment in the past. The streams and ponds, which the community has expressed a desire to retain in its current form, are a prominent feature of Westbourne.

8.2 **View 2** 360 degree views from the footpath running along the watercourse of River Ems, off the main Westbourne Road close to the village centre. The view is over the West Sussex fields to the east, and west towards the Hampshire border and open fields looking south. To the north west is St John the Baptist church with its distinctive spire - a Grade I Listed building - a feature of Westbourne's heritage. The stream running alongside the path is lined by indigenous trees and the views are glorious with abundant wildlife and a clear running stream. An 'asset not to be damaged', and a peaceful walk on any day of the year that is enjoyed by the whole community.

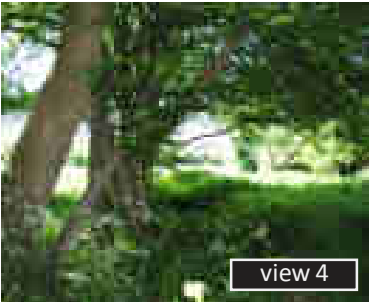
8.3 **View 3** Views south along White Chimney Row. This is one of the iconic views in the village which appears in many photos of the area; a narrow entry to the village with historic buildings on the western side and typical local flint and brick wall on the eastern side. The buildings, on the whole, have white-painted chimneys hence the name 'White Chimney'. The wall has some large, ancient feature entrances. This is part of the Conservation Area with a mix of very old houses. A valued asset in Westbourne's heritage

8.4 **View 4.** This is the view from New Road, just behind the Square, across the patchwork of what are now equestrian paddocks but were once part of the watercress production process. This demonstrates how the countryside reaches into the centre of the village.

8.5 **Views 5 & 6** Views are from the top of Monk's Hill at the northern edge of the Village and one of the main routes into the centre .

5) To the east the view is over the village 'Green' an amenity space owned by the Parish Council and retained in perpetuity for the community of Westbourne. There is a small children's playground, a car park and picnic benches. The area is used regularly by the community for recreation. From Monk's Hill to the north east the views are across the Ems Valley to the South Downs National Park, over Walderton Down and to the renowned Kingley Vale. The hamlet of Aldsworth, part of Westbourne Parish, is in the depression between this point and the 'Downs'. Slightly south of this you can see across to Woodmancote, the other hamlet of Westbourne Parish. Nearly all the buildings in the distance are hidden by large hedgerows and woodland - some classified as Ancient Woodland.

VDS  
Important  
Views - Photos



view 4



view 8



view 12



view 16



view 1



view 5



view 9



view 13



view 17



view 2



view 6



view 10



view 14



view 18



view 3



view 7



view 11



view 15



view 19



- 6) To the south we look across the roof tops and old trees of Westbourne itself out to the Solent. Further round to the south-west the views through the hedge are into open fields often visited by deer and other wildlife. These views are of particular importance to the residents of Westbourne and to the wider community.
- 8.6 **View 7.** River Street just north of the village primary school. This is a typical country lane close to some of the main amenities of Westbourne. There are no visible footpaths but the route is widely used by walkers and horse riders as well as being a very pleasant place to drive along. The road runs alongside a tributary channel of the River Ems. The embankment drops down to the water's edge where children can often be found paddling and walkers resting on the bench at the side. Looking north along the river you can see a beautiful old brick and flint bridge with the clear water of the chalk stream flowing beneath, especially in the winter months. On the other side of the river bank are some of the flood plain fields glimpsed behind trees. Beyond the fields are some of the village dwellings. Opposite this view point is a Grade II Listed building called 'Watersmeet', behind which can be seen an old Canal/Mill pool, recently restored to its former glory. The 'Canal' attracts a variety of wildlife including swans, and kingfishers. Beyond is a patchwork of fields bordered with old hedges and trees. These views help to demonstrate Westbourne's distinctive rural character.
- 8.7 **View 8.** Foxbury Lane. The view looks back over the meandering Ems River, and stretches across towards Watersmeet on River Street. The refurbished canal area and the fruit orchard can be seen along with the patchwork of allotments. Nearby there are often cattle grazing and wildlife thrives; deer can be seen regularly and they often use the area for birthing in the spring. The residents of Westbourne have been very clear that these are a series of views they wish to retain.
- 8.8 **View 9.** Foxbury Lane close to Chantry Hall. The views from here are across equestrian and agricultural fields to the Cemetery, a prized heritage village asset. The flint chapel is bounded by low old flint walls with its grounds full of yew trees. This now forms an important view from the village and, as part of its Heritage Asset setting designation, the Cemetery has an open area surrounding it. The Parish Council has taken into account the residents' wishes that the open views to the Cemetery and the surrounding countryside along one of the main approaches to Westbourne Village are so significant that they should be retained. The importance of this view was highlighted by a Planning Inspector during a recent planning appeal hearing.
- 8.9 **View 10.** Top of Foxbury Lane junction with Emsworth Common Road. Views looking north over open countryside in the SDNP and gently sloping hills rising to Racton Folly and Stansted Park. To the north-west the view looks over the Ems Valley with its old bridge on Emsworth Common Road. In the foreground an area of ancient woodland, close to the valley floor, is seen. Further to the east and south-east are views across rural fields with periodic clumps of trees and woodland. It is an excellent location to view the beautiful rural area from along the footpath from Woodmancote.
- 8.10 **View 11.** Views to the north and south from Mill Lane. The lane is unmade and used by many visitors and villagers alike for walking, cycling and horse riding. The view to the north is across the fields to the historic village church, with its spire rising from the Flint Tower; the iconic village view. To the south the views are of a rural aspect across well grazed fields, through hedges with gaps in and across to further hedge lines and established trees. There are few buildings in the lane, giving a delightful feeling of rural tranquillity, providing an impression of open countryside and thereby maintaining a view over open countryside. Mill Lane can be accessed from White Chimney Row or from along the path by the side of the River Ems. The lane is often used by those walking through to Emsworth. Probably one of the most spectacular walks in the village.
- 8.11 **View 12.** Old Farm Lane, bottom of the hill. These are views experienced on the approach to the main Village along Old Farm Lane from the south-east. They look over high quality arable land used in the main for planting of crops such as winter wheat and rape seed. They are large open expanses of fields, which contribute to the rural character of the Parish. The fields are frequently coloured swathes of yellow and gold, falcons can be seen spiralling round on the thermals generated from the warm ground below. To the South there is a thick hedge of trees which disguises the main A27 so a remote but accessible rural landscape can be enjoyed within 2 minutes of Westbourne centre.
- 8.12 **View 13.** Foxbury Lane Junction with Woodmancote Lane: The important view is directly to the north, looking through an ancient wooded copse to glimpses of Racton Folly, an important and famous listed monument.
- 8.13 **View 14.** This is a view from one of the single track unclassified roads just below Racton Folly. It is a 360 degree view of the beautiful West Sussex countryside taking in the monument and woodland to the North and West, and rolling fields with grazing cattle down to the Ems Valley to the south and east before arriving at an Ancient Woodland area close to Emsworth Common. The area is set in the South Downs National Park, close to Lordington where there are also a number of footpaths and bridleways criss-crossing the area; a tranquil and beautiful location enjoyed by all.

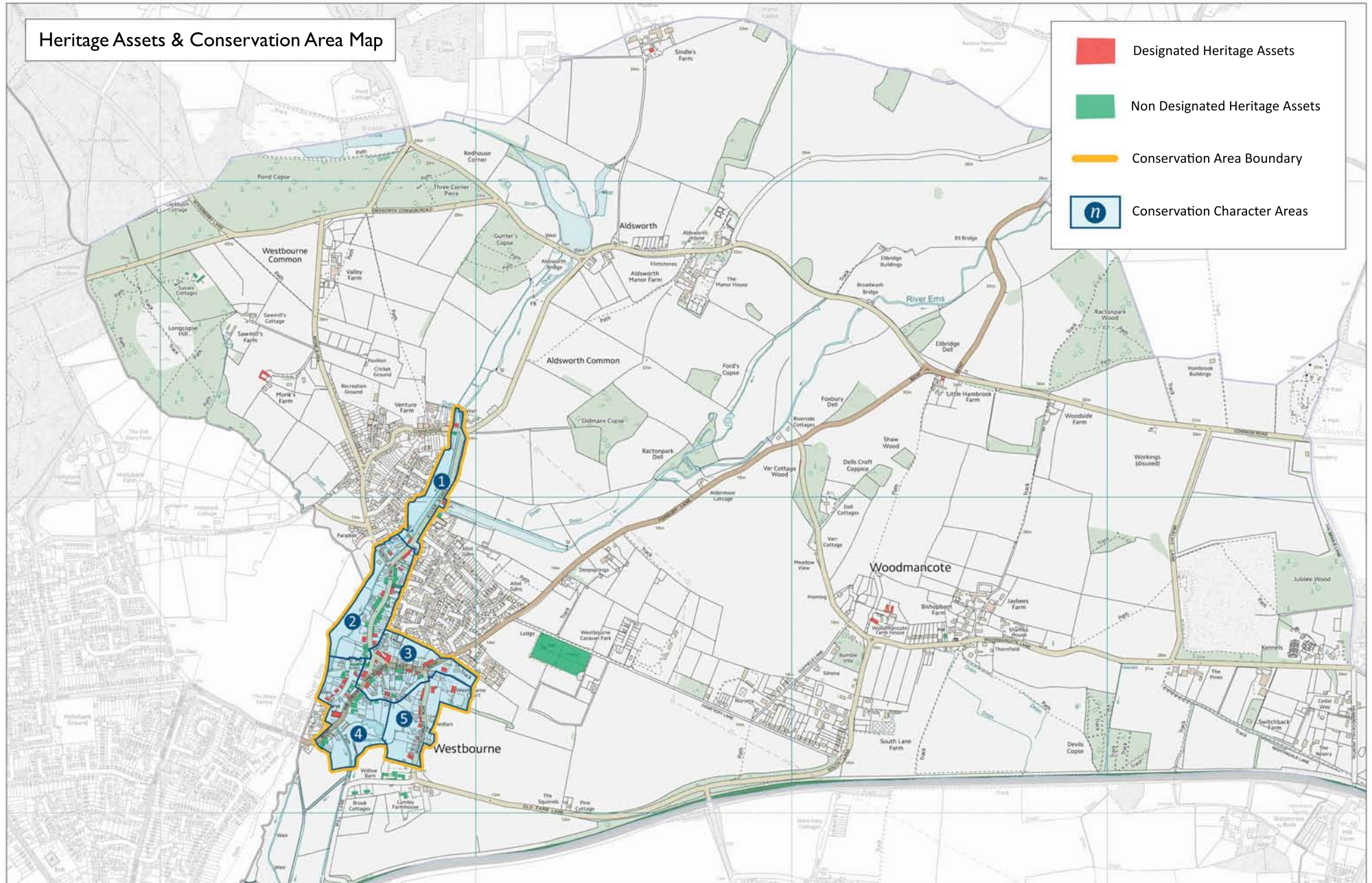
- 8.14 **View 15.** Top of Aldsworth Common Road and junction with Emsworth Common: To the north is one of the old man-made watercress ponds, no longer used in the production of watercress but now a magnet for wild birds and animals. It has the appearance of a large pond with a water overflow which is actually one of the tributaries of the River Ems; wild geese are often seen here as are deer. Cattle graze across the stream running alongside the ponds. There are well established trees giving a feel of a wooded area with open glades.
- 8.15 **View 16.** View from the high point in Aldsworth back toward Westbourne Village, shows the patchwork of equestrian holdings over to the Ancient woodland with glimpsed views of Westbourne. This view highlights the setting of Westbourne Village surrounded by countryside and shows clearly the separation of Westbourne village from Aldsworth and Woodmancote.
- 8.16 **View 17.** Woodmancote Lane heading into the hamlet of Woodmancote approx. 300m from Marlpit Lane. This is quite an elevated position from Westbourne Village, and although it is a single-track road it is the main road through Woodmancote. From here the views are across the rural fields of Westbourne where crops are generally grown. The fields are large and open. Glass houses can be seen in the foreground and the view then extends across the coastal plain, over Hayling Island and to Portsmouth, Hampshire in the distance. Views are far-reaching and the landmark of Spinnaker Tower in Portsmouth is clearly visible on a clear day. The scar of the A27 is hidden in a tree line so little development is seen before Portsmouth. This road, as well as being a through route in Woodmancote, provides access to Westbourne from the East. The views are enjoyed by equestrian users, cyclists on the Southern Cycle path and walkers using the various footpaths and bridleways.
- 8.17 **View 18.** Woodmancote Lane, junction with Duffield Lane. The views from here are to the south-west, across open farmland used for crop growing toward the main conurbation of the village. The steeple of the Church can be seen along with the roofline of some of the dwellings. Often deer and wild birds can be seen on the farmland. A line of trees hides other development between this point and the village. This lane is the main Public Right of Way from Westbourne Village to Woodmancote used regularly by pedestrians. It is also used by ramblers and cyclists. The undeveloped views from here are of importance to the local community and are considered worthy of protection.
- 8.18 **View 19.** North Street looking West along the route of the River Ems. This is a flood plain, which houses flat meadows, used mainly for equestrian purposes. In the distance the trees generally disguise the houses at Emsworth beyond. In recent years the view has been somewhat compromised by the positioning of a dilapidated caravan in the field by the road. However, it is a view that the Parish Council is endeavouring to protect at the request of local residents.

## 9 HERITAGE ASSETS

- 9.1 Westbourne is a rural parish whose history dates back to the Domesday Book of 1086; it was probably a trading centre from early times. In 1302 there was a weekly market, with 19 tenants who held stalls, in the market-place. In 1348, Westbourne, as with the whole of Britain, was ravaged by the Black Death, which wiped out entire families and de-populated whole villages. However, in the 15th & 16th centuries, Westbourne became famous for sheep, cattle and pony trading and the settlement reached the height of its prosperity in the late 1600s. A disastrous fire destroyed a large part of the village at about this time, resulting in few of the ancient buildings surviving. The importance of Westbourne's built and natural heritage is widely recognised. The historic built environment, landscape setting and archaeological resources of an area make an important contribution to the social and cultural lives of residents and visitors, both now and in the future. Westbourne has a significant Conservation Area in the centre and the heritage value of the wider Parish is clear to all. Over 60 Listed Buildings have been identified, as well as many non-designated heritage assets. Consultation throughout the VDS and Neighbourhood Plan processes has shown that residents place a high value on Westbourne's heritage as making a significant contribution to the distinctiveness of the Parish.

### 9.2 WESTBOURNE'S DESIGNATED HERITAGE ASSETS

Cartref, Westbourne Cottage, Church Road	Grade II	301346
Elmhurst, Church Road	Grade II	301345
Old School House, Church Road	Grade II	301347
Smuggler's Cottage, Church Road	Grade II	301348
The Parish Church of St John the Baptist, Church Road	Grade I	301343
The Thatched Cottage, Church Road	Grade II	301344
Mouse House, Church View	Grade II	301349
Hill House, Common Road	Grade II	301351
Sindle's Farmhouse, Common Road	Grade II	301350
Bridge House, 56 Commonsides	Grade II	301353
Box Cottage, Routledge Cottage, 1 East Street	Grade II	301357
Devon Cottage, 1 East Street	Grade II	301358
Foxbury House, Foxbury Lane	Grade II	301354
Mile End House, Foxbury Lane	Grade II	301360
The Bucknalls, Foxbury Lane	Grade II	301359
Milton Stores, The Window Box Willcott The Square	Grade II	301388
Monk's Farmhouse, Monk's Hill	Grade II	301364
Little Thatch, Marsh Cottage, 21 New Road	Grade II	301365



Source: English Heritage & Westbourne History Group - June 2016



Churchers Farmhouse, 5 North Street	Grade II	301369
Gate Piers to the East of Westbourne House North St	Grade II	301373
Ivy Cottage, Yew Tree Cottage, North Street	Grade II	301375
Manchester Cottage, Manchester House North Street	Grade II	301374
Norman House, North Street	Grade II	301556
Old London, 5 North Street	Grade II	301370
The Good Intent Public House, 5 North Street	Grade II	301376
The Thatched Cottage, 5 North Street	Grade II	301371
Westbourne House, North Street	Grade II*	301372
Whitefriars, North Street	Grade II	301368
Cranberry, North Street	Grade II	301366
Sparrows, North Street	Grade II	301367
Middle House, Old Rectory Close	Grade II	301378
Talbot Cottage, Old Rectory Close	Grade II	301377
1a River Street	Grade II	301379
6, 7, 8 & 9, River Street	Grade II	301380
Forge House, River Street	Grade II	301381
Mill House, 16 River Street	Grade II	301383
Watersmeet, 19 River Street	Grade II	301382
Kingsbury's Stores, The Bakehouse, The Lanes, The Sq	Grade II	301391
1, 2 & 3, The Square	Grade II	301384
Centra Country Stores and the House Attached, The Sq	Grade II	301394
Chalk Cottage, Lamb Cottage, The Square	Grade II	301389
Lickfold Luton, The Square	Grade II	301390
St Leger, The Square	Grade II	301386
The White House, The Square	Grade II	301387
The White Horse Public House, The Square	Grade II	301385
The Stag's Head Public House, The Square	Grade II	301392
Trudgetts, The Square	Grade II	301393
Woodman's, Whitechimney Row	Grade II	301398
1, 2 & 3, Whitechimney Row	Grade II	301397
Cooper's Cottage, Whitechimney Row	Grade II	301396
Drounces, Whitechimney Row	Grade II	301395
Fir Tree Cottage, Whitechimney Row	Grade II	301399
Homelands, Whitechimney Row	Grade II	301403
The Lawns, Whitechimney Row	Grade II	301405

The Old Dairy, Whitechimney Row	Grade II	301401
Timbers, Whitechimney Row	Grade II	301400
Well Cottage, Whitechimney Row	Grade II	301402
Westbourne Court, 1 Whitechimney Row	Grade II	301404
The Manor House, Woodmancote Lane	Grade II	301406
Woodmancote Farmhouse, Woodmancote Lane	Grade II	301407




9.3 NON-DESIGNATED BUILT HERITAGE ASSETS:

The Cemetery, Cemetery Lane	non-designated
Rose Cottage, Church Road	non-designated
Smugglers Cottage, Church Road	non-designated
Buildings north of Rose Cottage to King St, Church Road	non-designated
Poates Cottage, Church View	non-designated

Little Hambrook Farm, Common Road	non-designated	Whitefriars, North Street	non-designated
Sussex Cottages, Common Road	non-designated	1-8, Manchester Terrace, North Street	non-designated
53 & 54, Commonside	non-designated	The Cottage and The House at Herons Hollow, North Street	non-designated
1, East Street	non-designated	Lumley House, Old Farm Lane	non-designated
1-4, Devon Cottages East Street	non-designated	Westbourne Club, River Street	non-designated
1-6, Jubilee Terrace East Street	non-designated	Westbourne Primary School, River Street	non-designated
1-6, Victoria Terrace East Street	non-designated	1-7, The Grove	non-designated
22, East Street	non-designated	Roseberry House, The Square	non-designated
Ashcroft, East Street	non-designated	5 7 & 8, The Square	non-designated
Oak Court, East Street	non-designated	Post Office, The Square	non-designated
Robin Cottage, King Street	non-designated	Avondale, Westbourne Road	non-designated
Wren Cottage, King Street	non-designated	Church House, Westbourne Road	non-designated
1, 2 & 3, Brook Cottages Mill Lane	non-designated	Dellcroft, Westbourne Road	non-designated
4, 19-21, New Road	non-designated	Fern Cottage, Westbourne Road	non-designated
Rockingham, North Street	non-designated	Nylstroom, Westbourne Road	non-designated
1 - 3, Rose Cottages, North Street	non-designated	The Old Rectory, Westbourne Road	non-designated
1 & 2, Rainbow Villas, North Street	non-designated	Waterways, Westbourne Road	non-designated
1, 3, 5, North Street	non-designated	Flowers Cottage, Whitechimney Row	non-designated
1-6, Beckenham Terrace, North Street	non-designated	Gingerbread Cottage, Whitechimney Row	non-designated
Alton Cottage, North Street	non-designated	Shires Barn, Whitechimney Row	non-designated
Bellevue, North Street	non-designated	The Granary, Whitechimney Row	non-designated
Bourne Cottage, North Street	non-designated	The Old Studio, Whitechimney Row	non-designated
Fair Oak, North Street	non-designated	Willow Barn, Whitechimney Row	non-designated
Fuchsia Cottage, North Street	non-designated	Woodmancote Church, Woodmancote	non-designated
Ivy House, North Street	non-designated		
Ivydene, North Street	non-designated		
Johns Gate, North Street	non-designated		
Langley, North Street	non-designated		
Manchester House, North Street	non-designated		
Newland House, North Street	non-designated		
Norman House, Old Farm North Street	non-designated		
Rainbow Cottage, North Street	non-designated		
Rockery House, North Street	non-designated		
Sandringham, North Street	non-designated		
Tanyard Cottage, North Street	non-designated		
Westbourne Baptist Church, North Street	non-designated		

**9.4 WESTBOURNE'S OTHER NON-DESIGNATED HERITAGE ASSETS:**

The flint wall in Covington Road, part of the old workhouse	non-designated
The bridge over the river in North Street	non-designated
The wall alongside the river in River Street	non-designated
The bridge over the river at the junction of River St/Commonside	non-designated
The wall alongside the Parish Hall in Westbourne Road	non-designated
The Parish fingerposts The Square, Common Road	non-designated

A photograph of a pond with two white ducks on the bank, surrounded by lush green foliage. The ducks are standing on a gravelly bank, and the water reflects the surrounding trees and sky. The scene is peaceful and natural.

PRODUCED IN CONSULTATION  
WITH THE COMMUNITY BY THE  
WESTBOURNE NEIGHBOURHOOD  
PLAN STEERING GROUP ON BEHALF  
OF WESTBOURNE PARISH COUNCIL

The Westbourne Neighbourhood Plan Steering Group consists of: Jim Barlow, Roy Briscoe, Wanda Canwell, Patricia Goodhew, John Hernon, Richard Hitchcock (Chair), Piers Mason, Julia Munday, Richard Munday and Alan Wright. They would like to thank and acknowledge all the help, advice and assistance received from the residents of the Parish of Westbourne throughout the preparation of the Village Design Statement. The Group would also like to thank planning consultant Lisa Jackson, of Jackson Planning Limited, for all her help.